

<b>CITY OF WESTMINSTER</b>			
<b>PLANNING APPLICATIONS SUB COMMITTEE</b>	<b>Date</b> 09 October 2018	<b>Classification</b> For General Release	
<b>Report of</b> Director of Planning		<b>Ward(s) involved</b> St James's	
<b>Subject of Report</b>	<b>2 Barton Street, London, SW1P 3NG</b>		
<b>Proposal</b>	<ol style="list-style-type: none"> <li>1. Demolition and rebuilding of ground floor extension and excavation of a new basement level beneath the rear extension. Widening of existing front dormer window and associated works.</li> <li>2. Underpinning of the garden boundary wall to No. 1 Barton Street; removal of the trellis screen on the garden boundary wall and infilling with new brickwork to match existing.</li> <li>3. Removal and replacement of soldier course and creasing tiles for a 2.398m length of the top of the rear garden boundary wall and addition of 0.55m to the wall between Nos. 2 and 3 Barton Street.</li> </ol>		
<b>Agent</b>	Mr David Taylor		
<b>On behalf of</b>	Ms Marina Lund		
<b>Registered Number</b>	18/03465/FULL 18/03466/LBC 18/06397/LBC	<b>Date amended/ completed</b>	27 April 2018
<b>Date Application Received</b>	27 April 2018		
<b>Historic Building Grade</b>	Unlisted. Nos 1 and 3 Barton St are Grade II star listed.		
<b>Conservation Area</b>	Smith Square		

## 1. RECOMMENDATION

<ol style="list-style-type: none"> <li>1. Grant conditional permission.</li> <li>2. Grant conditional listed building consent.</li> <li>3. Grant conditional listed building consent.</li> <li>4. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letters for applications 2 and 3 above.</li> </ol>
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## 2. SUMMARY

2 Barton Street is a single-family dwelling comprising of lower ground, ground and three upper floors. The building is not listed but is located within the Smith Square Conservation Area. To the rear of the site is a small courtyard with a rear extension to the immediate rear and side of the garden.

The proposals seek to demolish and rebuild the existing rear extension and excavate and extend the existing lower ground floor level to form a new basement level. The proposals also include work to boundary walls with Nos. 1 and 3, which are both Grade II star listed buildings.

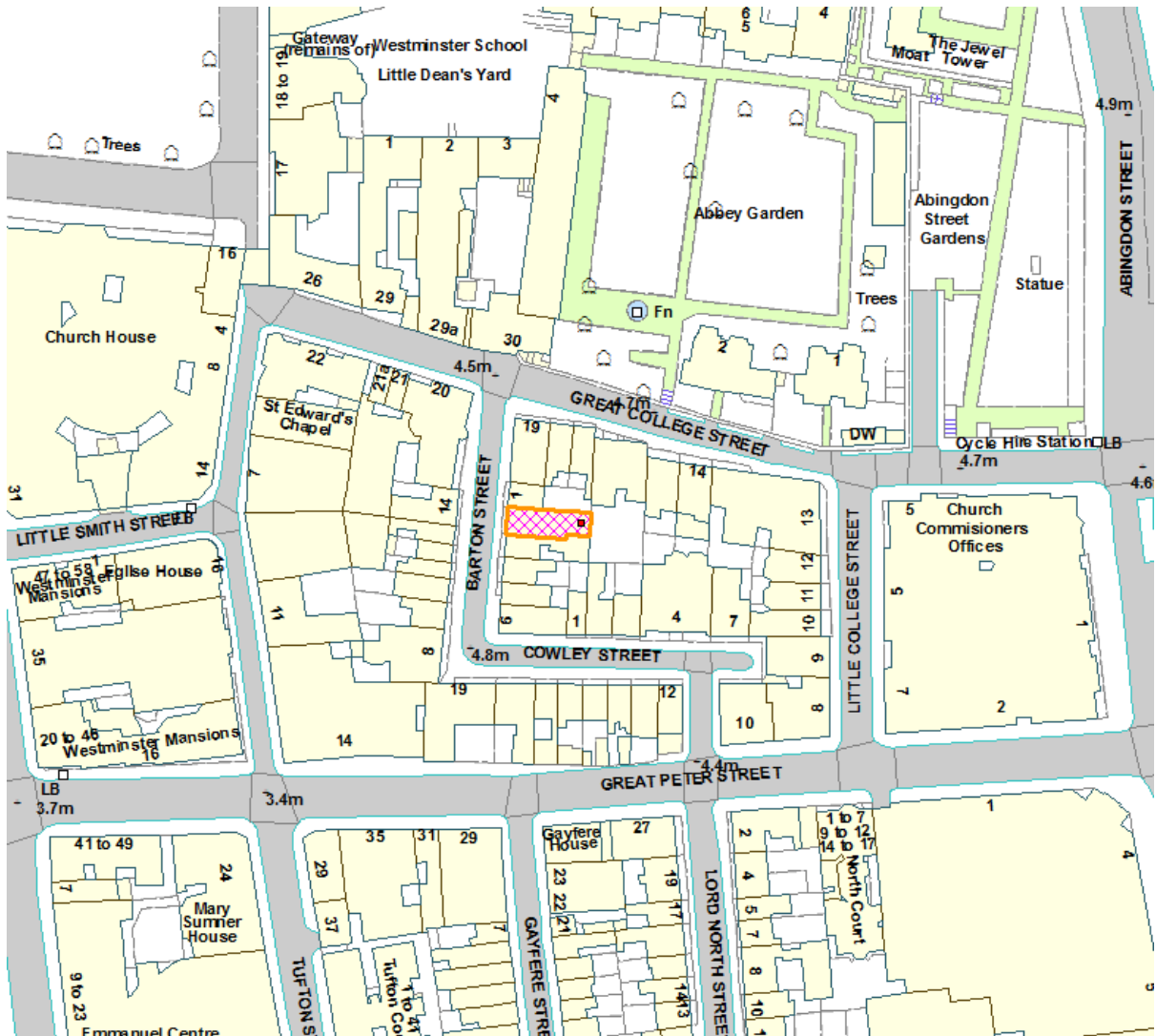
The key issues for consideration are:

- The land use implications on the surrounding area;
- The impact of the proposal on the amenity of surrounding residents;
- The impact of the proposed alterations on the character and appearance of the building and adjoining Grade II star listed buildings and the Smith Square Conservation Area.

Objections have been received from Councillor Flight and nearby residents largely on the grounds of amenity including the impact of building works on adjacent residents; the impact on the adjacent listed buildings, and structural issues.

The proposed works are considered acceptable in land use, design and heritage terms and in terms of policy as set out in the Westminster City Plan (November 2016) and Unitary Development Plan (2007) policies, as well as national policy in the National Planning Policy Framework (2018).

### 3. LOCATION PLAN



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4. PHOTOGRAPHS



## 5. CONSULTATIONS

### COUNCILLOR FLIGHT

Raises objection regarding the potential noise, dirt and general inconvenience from the proposed works. Main concern is regarding the resident at No. 1 in terms of the impact of the works.

### HISTORIC ENGLAND (Listed Builds/Con Areas)

- Authorisation to determine application as seen fit received 21 August 2018.

### HISTORIC ENGLAND (Archaeology)

- Any archaeological interest should be conserved by the imposition of conditions requiring a written scheme of investigation, prior to any demolition or development taking place.

### ENVIRONMENT AGENCY (Thames Region)

- No comment raised as advised that the site is covered by the Flood Risk Standing Advice (FRSA).

### THORNEY ISLAND SOCIETY

- Potential damage to adjoining Grade II star listed buildings.
- Basement extension into the garden is deeper than the existing basement and may affect foundations of adjoining buildings.
- Basement may affect the hydrology of an area that is already prone to flooding.
- Large trees in adjoining garden (16 Great College Street) may have roots extending into the garden of No. 2.

### THAMES WATER

- The applicant is to incorporate within their proposal a non-return valve or other suitable device to avoid the risk of backflow at a later date.

### HIGHWAYS PLANNING MANAGER

- Unacceptable but could be made acceptable.
- Reduction in vertical depth between the roof of the vault and the surface of the public highway.

### BUILDING CONTROL

- Structural statement is considered acceptable.

### ARBORICULTURAL SECTION

- No objection subject to a condition to secure landscaping details.

### ENVIRONMENTAL HEALTH

Any comments to be reported verbally.

### ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 16

Total No. of replies: 11

No. of objections: 11

No. in support: 0

Objections raise the following issues:

### **Amenity**

- Large glazed roof panel to the extension would mean loss of privacy.
- Raised party walls would obscure sunlight to the rear of No. 1.
- Replacement of the opaque panel with brickwork would reduce light to No. 1.

### **Design**

- Design of two outbuildings not in keeping with the conservation area.
- No application for listed building consent has been submitted for works to No. 3.
- Internal works would impact on No. 3.

### **Construction**

- Existing properties would suffer from proposed development.
- Noise and dust pollution.
- Disruption caused by construction traffic.

### **Basement**

- Works are providing a second basement.
- Impact on drains and water table and possible flooding of adjoining properties.
- Excavation works impact on tree roots of tree in adjoining property.
- Proposed basement is contrary to policy.
- Proposed basement would affect fragility of adjoining listed buildings.

### **Other considerations**

- Unnecessary basement extension to provide a media room.
- No ventilation equipment is proposed.
- No details provided for means of access for building equipment or traffic management.
- Basement would require adequate ventilation but none is provided.

PRESS ADVERTISEMENT / SITE NOTICE: Yes

### **No. 1 Barton Street**

HISTORIC ENGLAND:

Authorisation to determine application as seen fit received 21 August 2018.

HISTORIC ENGLAND (ARCHAEOLOGY):

Authorisation to determine application received 22 June 2018 subject to conditions to secure a written scheme of investigation.

PRESS ADVERTISEMENT / SITE NOTICE: Yes

### **No. 3 Barton Street**

#### **HISTORIC ENGLAND**

Authorisation to determine application for listed building consent as seen fit received on the 21 August 2018.

PRESS ADVERTISEMENT / SITE NOTICE: Yes

## **6. BACKGROUND INFORMATION**

### **6.1 The Application Site**

2 Barton Street is a late Victorian townhouse in use as a single-family dwelling, within a terrace of Georgian properties in a residential area. The building is arranged over lower ground, ground and three upper floors and has a small courtyard garden to the rear with a single storey extension to the immediate rear and side of the site. No. 2 has a flying freehold with No. 3 whereby the ground floor entrance hallway is set beneath the first floor and above the lower ground floor of No. 3.

The building is set within the Smith Square Conservation Area. It is an unlisted building of merit as identified in the Smith Square Conservation Area Audit (2005). The application site adjoins Grade II\* listed buildings on either side, at Nos. 1 and 3.

### **6.2 Recent Relevant History**

#### 15/08756/FULL

Retention of railing at roof level.

Application Permitted 3 December 2015

#### 13/01278/FULL

Use from school boarding house to three separate residential dwellings and associated alterations (site comprises No. 2, 4 and 5 Barton Street).

Application Permitted 9 April 2013

#### 13/01279/LBC

Use from school boarding house to three separate residential dwellings and associated alterations (site comprises No. 2, 4 and 5 Barton Street).

Application Permitted 9 April 2013

## 7. THE PROPOSAL

Planning permission is sought for the demolition and rebuilding of the ground floor extension and excavation of a new basement level. Works also include widening of the existing front dormer window including associated works. The works to No. 2 also involve works to the boundary of Nos. 1 and 3.

As a result listed building consent applications have been submitted for works to the boundary/party walls with Nos. 1 and 3. Works involve the underpinning of the garden boundary wall to No. 1 and replacement of an existing screen on the garden boundary wall and infilling with new brickwork to match existing brickwork. The removal and replacement of soldier course and creasing tiles for a 2.398m length of the top of the rear garden boundary wall and addition of 0.55m to the wall between Nos. 2 and 3.

## 8. DETAILED CONSIDERATIONS

### 8.1 Land Use

The proposals are in relation to the improvement of the single family dwelling house and in land use terms are acceptable in terms of Policy S14 of the Westminster City Plan (November 2016).

Objectors to the application have raised concerns that the rebuilt extension is larger than the existing arrangement and encroaches into the area of undeveloped land. There is a modest change to the volume of the extension with the existing measuring 40sqm and the proposed extension 37sqm. This also results in a change to the garden volume with the existing being 18sqm and the proposed providing 21sqm of new garden area. The proposal seeks to create a more traditional layout with the extension abutting the rear elevation of the property and leading into a garden area. The proposals appear larger than the existing arrangement through the re-ordering of the external space to provide a more usable layout but there is no substantial increase to the volume proposed.

### 8.2 Townscape and Design

The main design issues are the impact of the proposals on the character and appearance of the Smith Square Conservation Area and special interest and setting of the adjoining Grade II star listed buildings.

#### Front elevation

It is proposed to widen the existing dormer windows on the front elevation. There is no consistent pattern to the front dormers along this part of the terrace but a number of adjoining properties do have single, relatively wide dormers. The existing dormer on No. 2 has a door leading onto a balcony area. The proposed widening of the dormer will accommodate double doors and the detailed design is not dissimilar to the existing design. In design terms the proposed alterations to the dormer on the front elevation is



considered acceptable. A simpler existing railing to the top of the bay is proposed which is acceptable in design terms.

It is proposed to alter the existing door opening to the front lower ground floor light well area and reinstate the stained glass to windows within the front door. Other works consist of like for like repair and reinstatement works and are welcomed in design terms.

### **Rear extension**

Policy DES 5 of the UDP states that extensions will normally be acceptable if they are confined to rear elevations and are in scale with the building and surroundings.

The existing rear extension, was approved in 2013 (13/01278/FULL and 13/01279/LBC) is located to the immediate rear of the garden area and there is a link corridor between the main house and rear extension, which creates a small internal courtyard garden. The existing extension occupies an area of 40sqm and provides a garden area of approximately 18sqm. The demolition of the existing rear modern extension is uncontentious in design terms. It would be replaced with an extension at ground floor level, which would extend across the full width to the rear of the property, with the secondary volume extension set back slightly from the main part of the extension. The main volume of the proposed extension would be taller than the existing due to the change in levels but would not exceed the height of the boundary walls with Nos. 1 and 3. The new extension would provide an area of 37sqm and a courtyard garden area of 21sqm.

The rear of this terrace has a range of extensions of varying depths, heights and designs and there is no consistent pattern with regards to the extensions to the rear. As highlighted above the proposed extension would be designed with a secondary set back volume and the existing link corridor extension would be removed, leaving a more traditionally laid out courtyard garden area, with the new extension being contained within the garden walls. The removal of the existing extension and its reconfiguration is acceptable in design terms.

### **Works to the boundary walls**

No. 2 is an unlisted building of merit. However as works are proposed to the boundary walls with Nos. 1 and 3, which are both listed Grade II star, the applicant has submitted listed building consents for works to the respective properties. Historic England have been consulted on the proposals to both Nos. 1 and 3 and have authorised the City Council to determine the applications accordingly.

### **No. 1 Barton Street**

There is an existing trellis set in front of a polycarbonate screen on the boundary between Nos. 1 and 2. A treatment, which is found on both sides of this panel when viewed from Nos. 1 and 2. The area which is proposed to be infilled measures approximately 2.4 (w) x 1.8 (h) and is located nearest to the building line of both properties. It is proposed to remove this existing boundary treatment and infill this area with brickwork to match existing in terms of height and appearance. A listed building consent application has been submitted to address the works on the Grade II star listed building.

Subject to conditions requiring the works to match existing the proposed alteration to the boundary wall is considered acceptable.

### **No. 3 Barton Street**

It is proposed to raise a section of the boundary wall by 0.5m but this will stop short of the rear elevation of the Grade II star listed building. Existing pipes on this elevation would not be affected by the proposals. The residential occupier of No. 3 had raised concerns over the impact of these works on the listed façade. The proposed raised boundary wall would be in matching brickwork and detailing to the existing wall along this boundary. In design and listed building terms this is considered acceptable.

No. 2 has a flying freehold with No. 3 whereby the ground floor entrance of No. 2 is located beneath the upper floor and over the lower ground floor of No. 3. It is proposed to replace an existing small casement with a new oriel window just above the secondary volume of the extension to the rear and in the area of the site set below No 3, which is listed Grade II star. The detail in this location and the impact on historic fabric is a key consideration. The applicants have provided additional information and have explained that the lintol would be replaced with a loadbearing brick arch. The localised nature of these works suggests that the works can be done without harm to the listed building and subject to conditions to secure appropriate detailing and methodology for the works, this is therefore considered acceptable.

### **Lower ground/basement extension**

The proposal includes a new basement level under the proposed rear extension and the lowering of the existing lower ground floor level by approximately 0.26m. The lowering of the lower ground floor including that of the vault floor is modest and does not impact on the hierarchy of the internal floor levels. The Highways Planning Manager had raised concerns that the drawings appeared to show the ceiling of the vault roof being altered which would be contrary to Policy TRANS 19 of the UDP (2007). However there are no changes to the vault roof, which would transgress the requirements of TRANS 19.

The proposed basement extension is a single storey extension with a floor to ceiling height of 2.5m and extends into the garden area by approximately 5.7m, but would be located wholly beneath the proposed ground floor extension. No external manifestations are proposed to the basement. The reconfiguration of the ground floor extensions allow for a more traditional garden to be provided. In design terms the proposed basement extension is considered acceptable.

The site is located within a Tier One Archaeological Priority Area and the application is supported by an Archaeological Assessment. This has been assessed by Historic England's Archaeology section who have advised that there is potential for post medieval, prehistoric and paleo-environmental remains with alluvial deposits associated with the former River Tyburn on the eastern half of the site. The existing basement (lower ground floor level) is thought to have removed much of the archaeology, which would have survived on the western half of the site. On this basis and in order to

protect any surviving archaeological remains Historic England (Archaeology) have recommended a condition to secure a written scheme of investigation. This will be secured by condition.

### **Roof level works**

There is an existing tall access hatch at roof level and this is to be replaced with a modest low-level access hatch and a new lantern rooflight. Both new structures are at low level and are set in from the roof edge. In design terms the replacement of the existing access hatch is an improvement on the existing situation and welcomed. Similarly the proposed lantern rooflight due to its height and location is not considered to have an adverse impact on the conservation area.

### **Impact on adjoining Grade II star listed buildings**

With regards to the impact on adjoining listed buildings, the applicants have provided further information to clarify the impact of the works on historic fabric. The existing boundary walls are to be retained, but built up to either side using detail to match the existing. A new oriel window would be created just above the secondary volume of the extension to the rear and in the area of the site set below no 3 which is listed Grade II\*. The detail in this location and the impact on historic fabric is a key consideration. The applicants have provided information which suggests this can be done without harm to the listed building and subject to conditions to secure appropriate detailing and methodology for the works, this is therefore considered acceptable.

A number of concerns have been expressed in relation to the basement works and their potential impact on the special architectural and historic interest of adjoining buildings and there is also significant demolition and steelwork proposed within the application property. A structural statement has been provided which sets out how works will be done to avoid harm to listed fabric. This includes drawings of the proposed steel frame structure through the building. The structural engineers have advised that the frame in the middle of the original structure is to replace the spine wall and is not going to take a bearing on the Party Wall nor remove its original fabric and as such would not cause harm to the listed buildings or their special interest.

## **8.3 Residential Amenity**

Policy S29 of the City Plan and ENV 13 of the UDP aim to protect the amenity of residents from the effects of development. Policy ENV13 states that the Council will resist proposals that would result in a material loss of daylight/sunlight, particularly to dwellings, and that developments should not result in a significant increased sense of enclosure, overlooking or cause unacceptable overshadowing.

Changes are proposed to the boundary walls with Nos. 1 and 3 in order to contain the new extension. A daylight and sunlight statement has been submitted with the application proposals. This demonstrates that the proposed extension would not have a material impact on Nos. 1 and 3 in terms of a material loss of light to both properties.

No. 1 is a single family dwelling. The nearest affected windows on the rear elevation of No. 1 are two windows which serve the ground floor living room and there is a door which provides access from this room into the rear garden area.

The existing boundary wall with No. 1 comprises of a section of wall measuring approximately 2.4 (w) x 1.8 (h) which is made up of an existing trellis set in front of a polycarbonate screen on the boundary between Nos. 1 and 2. This treatment is on both sides of this panel when viewed from Nos. 1 and 2. Further along this boundary is a brickwork painted boundary wall running the length of the remainder of the garden to both properties. In order to contain the proposed extension the area accommodating the trellis is to be replaced with brickwork to the same detail. Whilst the proposed bricking up of the wall nearest the building line of both properties would represent a noticeable change it is not considered to be one which would cause a material sense of enclosure or loss of light to warrant refusal on these grounds; it is a conventional boundary treatment.

No. 3 is a single family dwelling. No. 2 has a flying freehold with No. 3 whereby the ground floor entrance of No. 2 is located beneath the upper floor and over the lower ground floor of No. 3. A section of the boundary wall with Nos. 2 and 3 is to be raised by 0.5m but this will stop short of the rear elevation of No. 3. There is a small window which comes off a half landing and a window over the flying freehold, which serves a small bathroom. Neither windows would be affected by the proposed extension in terms of a material sense of enclosure or loss of light to warrant refusal on these grounds.

A condition is recommended to ensure that the roof of the proposed extension is not used for sitting out or any other amenity purposes.

At roof level an existing access hatch is to be replaced with a low level access hatch and a new lantern rooflight. However due to their size and location do not raise amenity concerns. A condition is also recommended to ensure that the roof is not used for amenity purposes.

#### **8.4 Transportation/Parking**

The proposed works in themselves do not have a direct impact in terms of changing the highway network. However, the scale of the proposed works may create a noticeable change in terms of construction traffic to and from the site although for a temporary period whilst building works are taking place.

Objections from the adjoining residents have been received concerning the disruption and noise due to the proposed works and associated construction traffic to and from the site. Particular concern has been raised on the impact of these works on the occupants immediately adjoining the application site. In light of this a condition requiring the applicant to adhere to the Code of Construction Practice (CoCP) is recommended. This will enable construction traffic and works to be undertaken with the minimal disruption to the residents within this part of Barton Street.

#### **8.5 Economic Considerations**

No economic considerations are applicable for a development of this size.

#### **8.6 Access**

The access arrangements remain unchanged.

#### **8.7 Neighbourhood Plans**

There is no Neighbourhood Plan either adopted or nearing adoption for this area.

#### **8.8 London Plan**

This application raises no strategic issues.

#### **8.9 National Policy/Guidance Considerations**

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

#### **8.10 Planning Obligations**

Planning obligations are not relevant in the determination of this application.

#### **8.11 Environmental Impact Assessment**

Not applicable.

#### **8.12 Other Issues**

##### **Basement**

Policy CM28.1 requires the submission of a structural methodology statement in relation to the proposed excavation works, together with a signed proforma Appendix A which demonstrates that the applicant will comply with the relevant parts of the council's Code of Construction Practice (CoCP). The applicant has complied with both of the above.

The proposal consists of excavating and extending the existing basement level into the garden area by approximately 5.7m and with a floor to ceiling height of 2.5m. The proposed extension of the basement level is a single storey basement and not a double basement as has been indicated by comments received concerning this part of the proposals. The proposed basement will be located entirely beneath the proposed extension.

The policy text of policy CM28.1 states that the most appropriate form of basement extension will be no more than one storey, with an approximate floor to ceiling height of 2.7m floor below the lowest part of the original floor level. The proposed basement complies with both aspects of these requirements as set out in the policy text.

The submitted drawings show that the proposed basement is located under part of the party wall with No. 1 but will be set inside of the party wall on the applicant's side with No. 3. Both residential occupiers of No. 1 and No. 3 have raised concerns over the structural integrity of the proposed basement on their Grade II star listed buildings. Particular concern is raised over the potential for damage and cracking to occur to both buildings. The City Council has consulted both Building Control and Historic England for comments.

Building Regulations determine whether the detailed design of buildings and their foundations will allow the buildings to be constructed and used safely, the National Planning Policy Framework (NPPF) July 2018 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by land instability.

The NPPF goes on to state that in order to prevent unacceptable risks from land instability, planning decisions should ensure that new development is appropriate for its location. It advises that where a site is affected by land stability issues responsibility for securing a safe development rests with the developer and/or landowner.

The NPPF advises that planning decisions should ensure that a site is suitable for its new use taking account of ground conditions and land instability and any proposals for mitigation, and that adequate site investigation information, prepared by a competent person, is presented.

In this regard and in line with policy CM28.1 the applicant has submitted a structural method statement. This statement has been assessed by Building Control who advised that the structural approach and consideration of local hydrology is considered to be acceptable. An investigation of existing structures and geology has been undertaken and found to be of sufficient detail. The existence of groundwater has been researched and the likelihood of local flooding or adverse effects on the water table has been found to be negligible. The basement is to be constructed using RC underpinning with RC retaining wall which is considered to be appropriate for this site. The proposals to safeguard adjacent properties during construction are considered to be acceptable. As highlighted above objections have been received from two adjoining occupiers raising concerns about structural damage to their properties as a result of the proposed basement.

The purpose of such a report at the planning application stage is to demonstrate that a subterranean development can be constructed on the particular site having regard to the site, existing structural conditions and geology. It does not prescribe the engineering techniques that must be used during construction which may need to be altered once the excavation has occurred. The structural integrity of the development during the construction is not controlled through the planning system but through Building Regulations and the Party Wall Act.

As highlighted above the method of excavation has been considered by Building Control officers who advised that the structural approach and consideration of local hydrology appears satisfactory. We are not approving this report or conditioning that the works

shall necessarily be carried out in accordance with the report. Its purpose is to show, with professional duty of care, that there is no reasonable impediment foreseeable at this stage to the scheme satisfying the Building Regulations in due course. This report will be attached for information purposes to the decision letter. It is considered that this is far as we can reasonably take this matter under the planning considerations of the proposal as matters of detailed engineering techniques and whether they secure the structural integrity of the development and neighbouring buildings during construction is not controlled through the planning regime but other statutory codes and regulations as cited above. To go further would be to act beyond the bounds of planning control. A condition requiring more detailed site investigations to be carried out in advance of construction works commencing, together with the written appointment and agreement of a competent contractor to undertake the works is not therefore considered reasonable.

Parts B and C of Policy CM28.1 requires the provision of soft landscaping and a permeable surface in order to offset the impact of the proposed basement extension. Part C also requires the basement development to leave a margin of undeveloped garden land (between 0.5 – 2m) proportionate to the scale of development and the size of the affected garden around the entire site boundary except beneath the existing building. This may be reduced on smaller sites, provided that flood risk, in particular surface water run-off, can be adequately dealt with on site. In this case the proposed basement is sited entirely beneath the footprint of the building and in this regard there is no requirement to maintain a margin of undeveloped land. The proposal however does provide a permeable surface within the garden area comprising of paviers laid over sand and an element of soft landscaping. In consultation with the City Council's Arboricultural officer a condition is recommended to secure soft and hard landscaping details.

### **Code of Construction Practice**

A condition is recommended to ensure that the development complies with the CoCP, which will require the developer to provide a Construction Management Plan (CMP) and funding for the Environmental Inspectorate to monitor the construction phase of the development.

Since the adoption of Policy CM28.1 the requirement to submit a construction management plan has been replaced with the CoCP. The CoCP sets out the minimum standards and procedures for managing and minimising the environmental impacts of construction projects within Westminster. The key issues to address as part of the CoCP and production of a CMP are liaison with the public, general requirements relating to the site environment, traffic and highways matters, noise and vibration, dust and air quality, waste management and flood control. Subject to conditions limiting the hours of work in relation to the proposed excavation works and requiring the applicant to adhere to the council's Code of Construction Practice, the proposed basement extension complies with the requirements of Policy CM28.1.

Comment has been made that a media/gym is inappropriate for a house of this type. This is a matter of judgement and the use of accommodation within a new basement extension does not dictate whether it should be acceptable or not. Moreover, the

basement extension is assessed in line with policy and in relation to any other works, which may be required to facilitate its operation, such as mechanical plant etc.

### **Trees**

There are two trees (a lime tree and sycamore tree) within the rear garden of 16 Great College Street. Concerns have been raised that the impact of the proposals would cause damage to the existing tree roots.

Trial excavations have been carried out within the existing outbuilding to the rear at the garden, to determine the extent of the boundary wall foundations. The foundations were found to be 1.1m deep.

The submitted Tree Constraints Plan shows the Root Protection Areas of T1 and T2 as modified shapes, on the assumption that the boundary wall is restricting root growth onto the application site. Normally trial holes excavated to determine whether a structure is acting as a barrier to root growth should be excavated 200-300mm below the underside of the foundations, in order to determine if there are any roots at a greater depth. These trial holes were excavated only to the base of the foundations. However, the existing building itself would also be acting as a barrier to root growth, and in this it is reasonable to conclude that the trees are rooting favourably in the garden in which they are located. The Arboricultural officer has stated that on the basis that the boundary wall is retained in situ without underpinning, which is the case in this instance the proposed works are unlikely to cause harm to the trees' roots.

The replacement of the existing outbuilding with a garden that includes soft landscaping will improve the potential rooting environment at the end of the garden nearest to the trees, which may result in the tree roots growing in the garden in the future.

Comment has been raised that the extension and basement will occupy a greater portion of the garden than the existing outbuilding resulting in a reduction of the garden size. However the proposed extension and garden area is comparable to the existing arrangement in terms of volume. As the proposal introduces softer landscaping in an otherwise built up and hard landscaped courtyard garden the Arboricultural officer has welcomed the inclusion of the proposed landscaping the details of which are to be secured by condition.

### **Pre commencement conditions**

Further to the Town and Country Planning (Pre-commencement Conditions) Regulations 2018, the City Council cannot impose a pre-commencement condition (a condition which must be discharged before works can start on site) on a planning permission without the written agreement of the applicant, unless the applicant fails to provide a substantive response within a 10 day period following notification of the proposed condition, the reason for the condition and justification for the condition by the City Council.

During the course of this application a notice was served relating to the proposed imposition of a pre-commencement condition to secure the applicant's adherence to the City Council's Code of Construction Practice during the demolition/excavation and



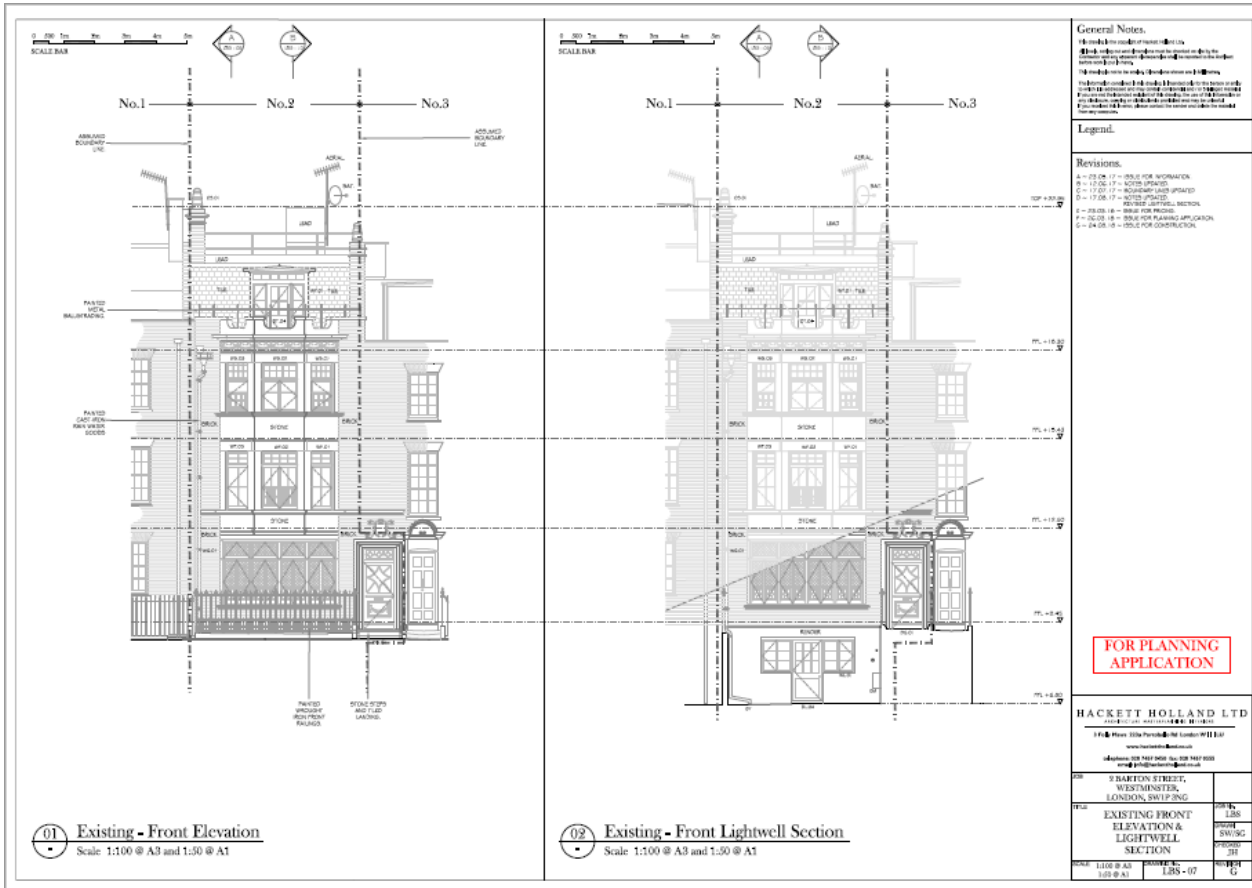
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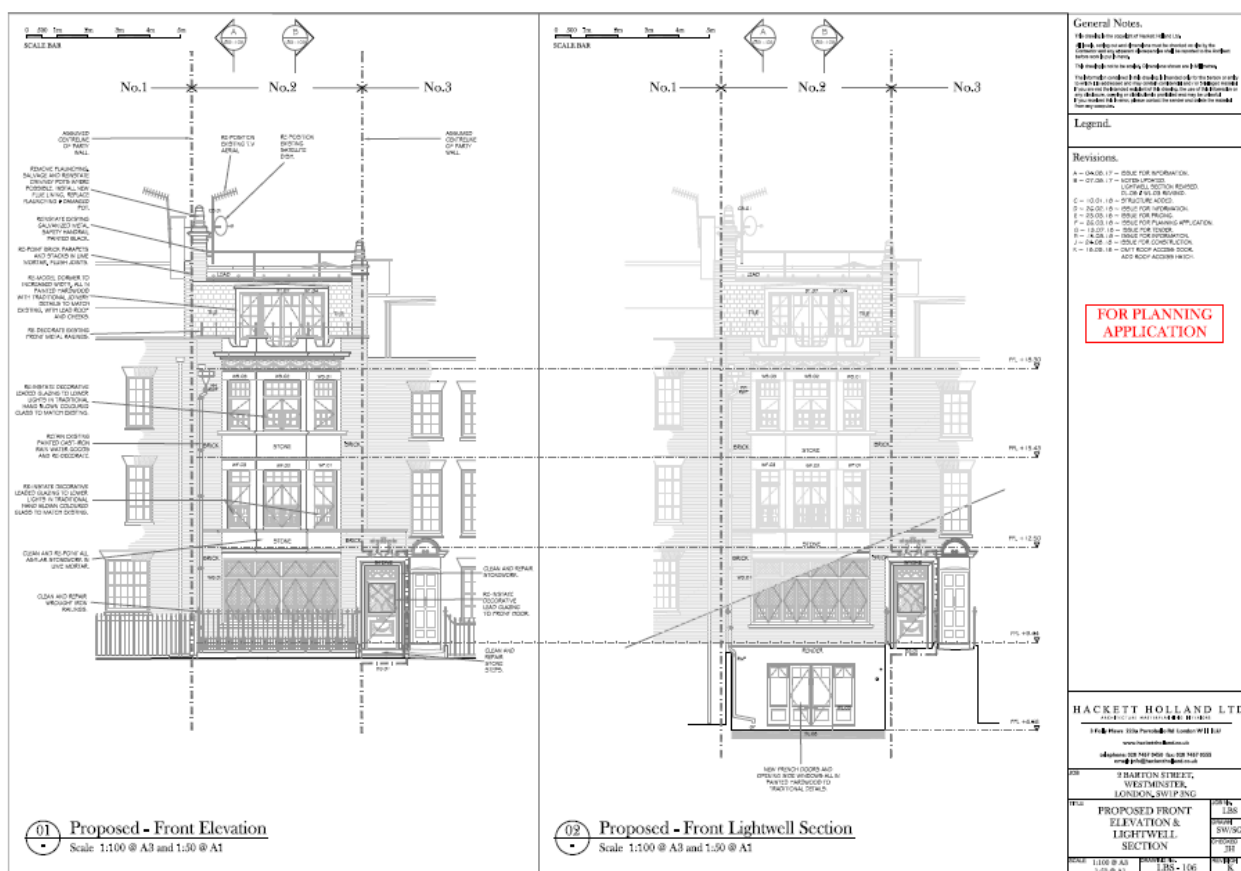
construction phases of the development. The applicant has agreed to the imposition of the condition.

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: LOUISE FRANCIS BY EMAIL AT <a href="mailto:lfrancis@westminster.gov.uk">lfrancis@westminster.gov.uk</a>
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**9. KEY DRAWINGS**





**General Notes.**

1. All work shall be in accordance with the Building Regulations and the relevant Approved Documents.
2. All work shall be in accordance with the Building Regulations and the relevant Approved Documents.
3. All work shall be in accordance with the Building Regulations and the relevant Approved Documents.

**Legend.**

**Revisions.**

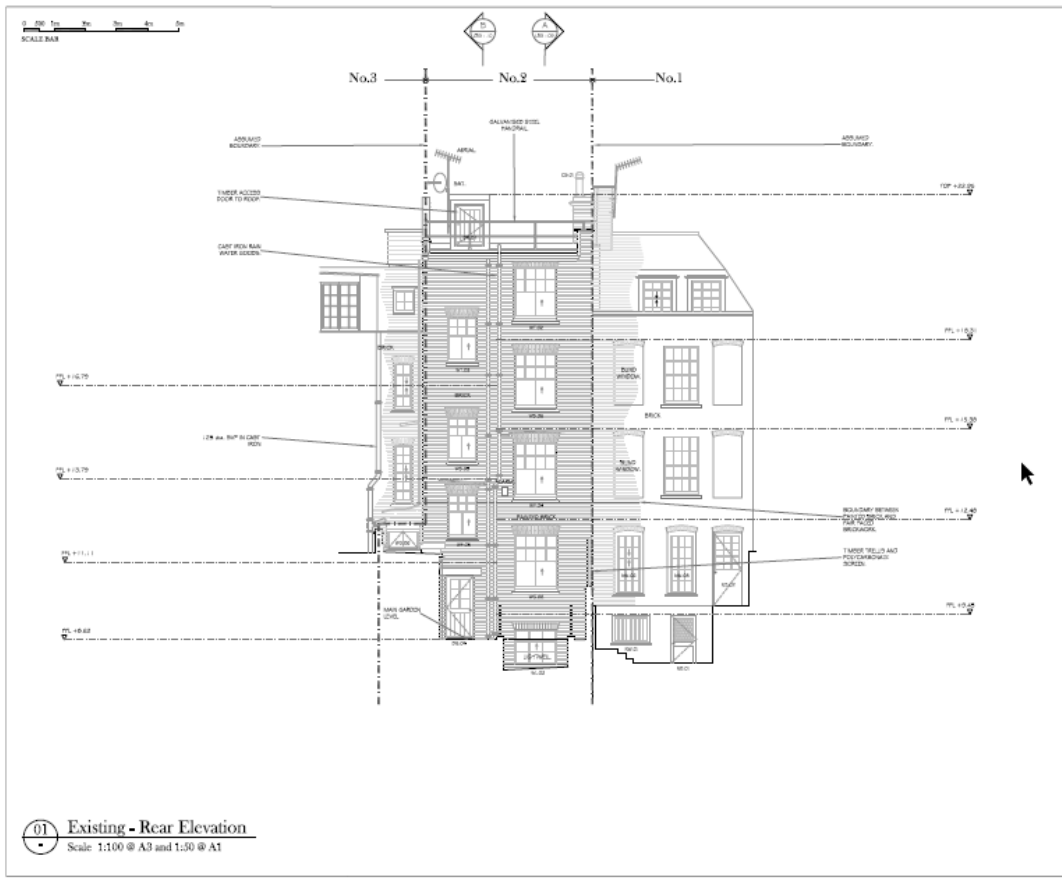
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**FOR PLANNING APPLICATION**

**HACKETT HOLLAND LTD**  
114-116 Fleet Street, London EC4A 3DF  
020 7424 1000  
www.hackettholland.co.uk

**PROPOSED FRONT ELEVATION & LIGHTWELL SECTION**

DATE	1:100 @ A3	1:50 @ A1	DATE	1:100 @ A3	1:50 @ A1
NO.	001	001	NO.	001	001



01 Existing - Rear Elevation  
Scale: 1:100 @ A3 and 1:50 @ A1

**General Notes.**  
 1. All work to be carried out in accordance with the Building Regulations and the relevant Approved Documents.  
 2. The contractor shall be responsible for obtaining all necessary consents and approvals.  
 3. The contractor shall ensure that all work is carried out in accordance with the relevant standards and specifications.  
 4. The contractor shall ensure that all work is carried out in a safe and sound manner.

**Legend.**

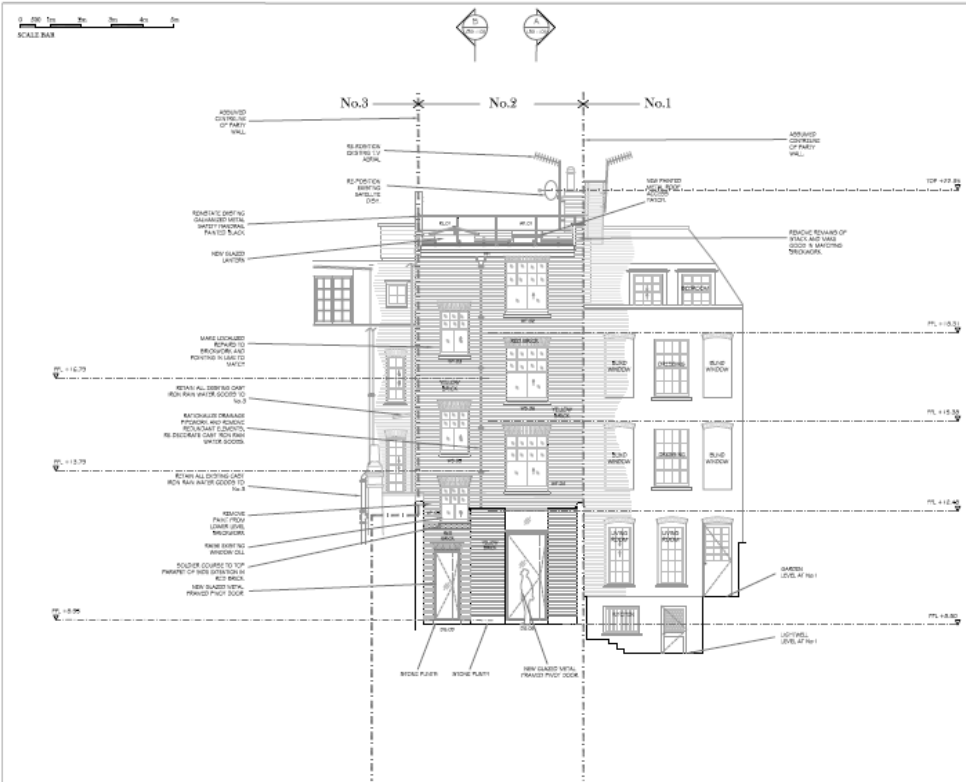
**Revisions.**  
 1 - 22.08.17 - ISSUE FOR INFORMATION  
 2 - 23.08.17 - NOICE UPDATES  
 3 - 23.08.17 - TO CORRECT ALL COORDINATE UPDATES  
 4 - 23.08.17 - BOUNDARY LINES UPDATES  
 5 - 23.08.17 - NOICE UPDATES  
 6 - 23.08.18 - ISSUE FOR PERIOD  
 7 - 24.08.18 - ISSUE FOR PLANNING APPLICATION  
 8 - 24.08.18 - ISSUE FOR CONSTRUCTION  
 9 - 1.09.18 - AMENDMENT FOR 2D AND 3D WORK

FOR PLANNING APPLICATION

**HACKETT HOLLAND LTD**  
 11th Floor, 100 Park Lane, London W1K 1EJ  
 www.hackettholland.com  
 Telephone: 020 7497 8800 Fax: 020 7497 8808  
 email: info@hackettholland.com

Site: 8 BAXTON STREET, WESTMINSTER, LONDON, SW1P 1JG

Drawn by: SWJ/SG	Scale: 1:50 @ A1
Checked by: SWJ/SG	Scale: 1:100 @ A3
Project No: 1285-08	Sheet No: 2



**General Notes.**  
 1. The drawings are the property of Hackett Holland Ltd.  
 2. The drawings are not to be used for any other purpose without the written consent of Hackett Holland Ltd.  
 3. The drawings are not to be used for any other purpose without the written consent of Hackett Holland Ltd.  
 4. The drawings are not to be used for any other purpose without the written consent of Hackett Holland Ltd.

**Legend.**

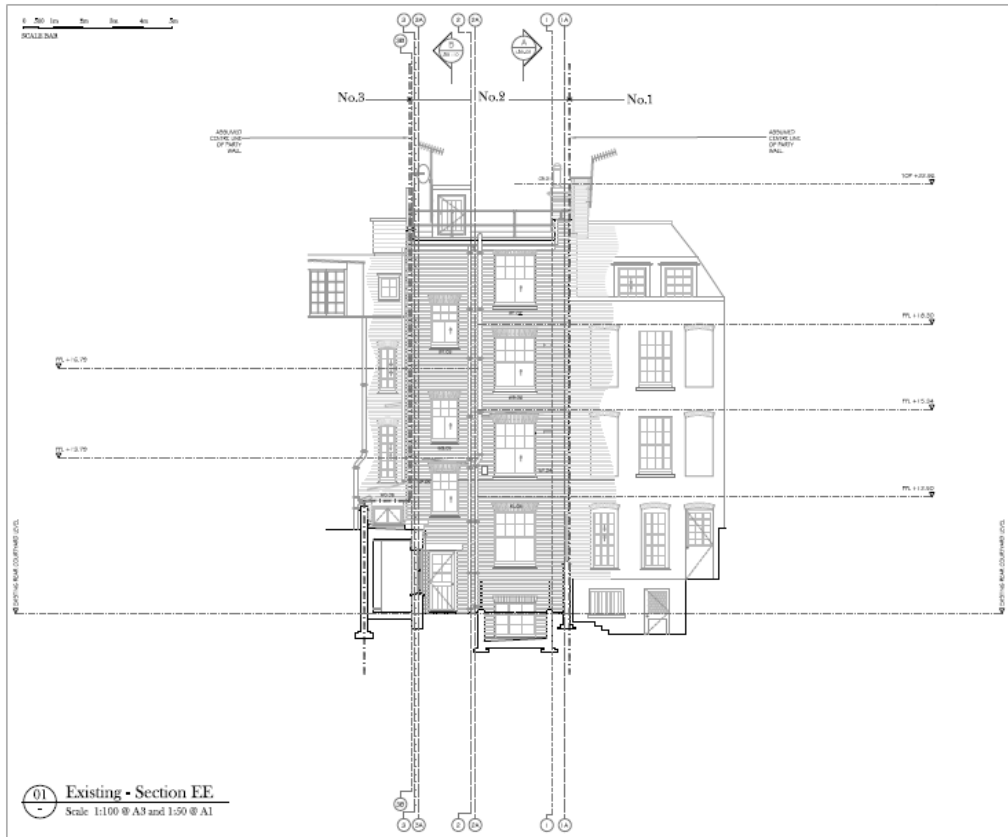
**Revisions.**  
 A - 24.03.17 - ISSUE FOR INFORMATION  
 B - 09.09.17 - REVISED ARCH ELEVATION  
 C - 09.09.17 - REVISED ARCH ELEVATION  
 D - 19.03.18 - ISSUE FOR INFORMATION  
 E - 02.03.18 - ISSUE FOR INFO  
 F - 26.03.18 - ISSUE FOR PLANNING APPLICATION  
 G - 12.02.18 - ISSUE FOR INFO  
 H - 29.07.18 - ISSUE FOR INFO  
 I - 24.02.18 - ISSUE FOR INFORMATION  
 J - 04.04.18 - ISSUE FOR INFORMATION  
 K - 18.08.18 - EXIST EXIST ACCESS DOOR AND REAR ACCESS DOOR

FOR PLANNING APPLICATION

01 Proposed - Rear Elevation  
 Scale 1:100 @ A3 and 1:50 @ A1

**HACKETT HOLLAND LTD**  
 1st Floor, 55th Floor, 56th Floor, 57th Floor  
 www.hackett-holland.com  
 5 BARTON STREET,  
 WESTMINSTER,  
 LONDON, SW1P 3NG

DATE	11.08.18	BY	TH
DATE	11.08.18	BY	TH
DATE	11.08.18	BY	TH
DATE	11.08.18	BY	TH



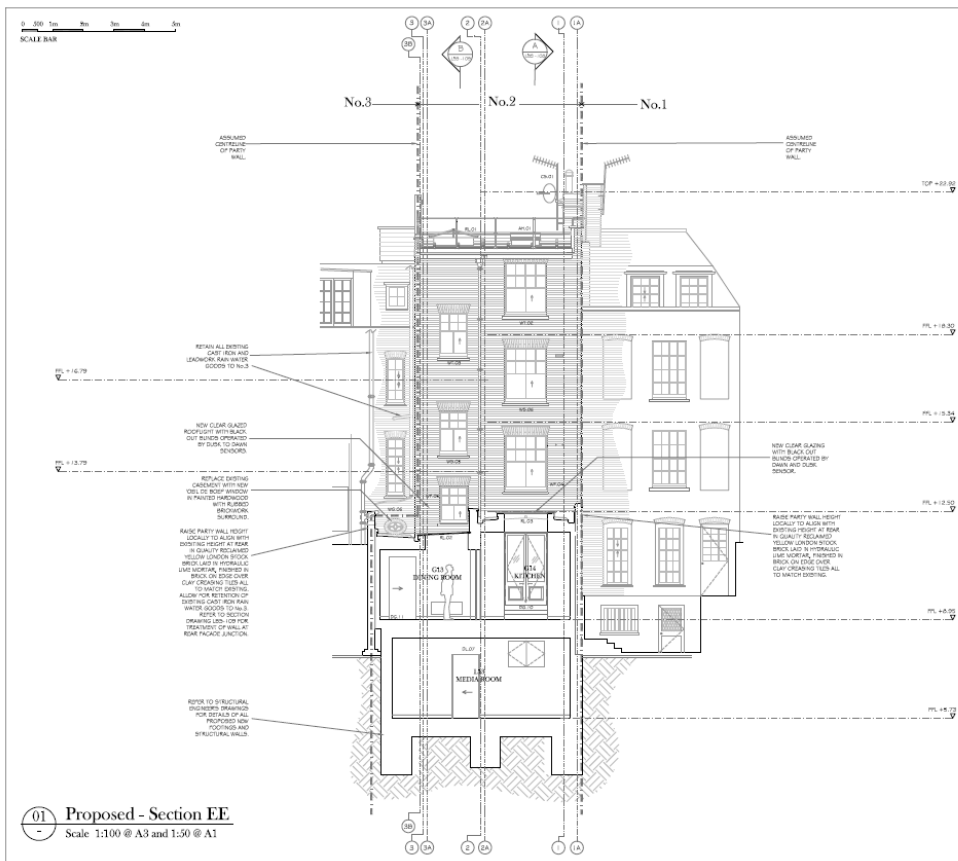
01 Existing - Section E.E  
Scale 1:100 @ A3 and 1:50 @ A1

**General Notes.**  
 1. To be used in conjunction with the other drawings.  
 2. All work shall be carried out in accordance with the Building Regulations and the relevant parts of the Building Act 2004.  
 3. The drawings are to be used for the purpose of obtaining planning permission only. They are not to be used for any other purpose without the written consent of the architect.  
 4. The drawings are not to be used for any other purpose without the written consent of the architect.

**Revisions.**  
 1. 21.09.18 - SEND FOR PLANNING PERMISSION

**FOR PLANNING PERMISSION**

<b>HACKETT HOLLAND LTD</b>	
<small>100 Brook Street London W1B 3LY          www.hackettholland.co.uk          Telephone: 020 7493 4000 Fax: 020 7493 4001          Email: <a href="mailto:info@hackettholland.co.uk">info@hackettholland.co.uk</a></small>	
2 BARTON STREET, WESTMINSTER, LONDON, SW1P 1NG	
<b>EXISTING SECTION EE</b>	DRAWN: JTB CHECKED: BWG DATE: 11/10/18
SCALE: 1:50 @ A3 1:50 @ A1	SHEET NO: 125 OF 125



01 Proposed - Section EE  
Scale 1:100 @ A3 and 1:50 @ A1

**General Notes.**

The drawings are prepared on the basis of the information provided to the architect and are subject to change without notice. The architect is not responsible for the accuracy of the information provided to the architect.

The drawings are to be used for the purpose of the information provided to the architect and are not to be used for any other purpose.

**LEGEND**

NEW WORK

**Revisions.**

0 - 09.05.17 - ISSUE FOR INFORMATION.  
A - 17.05.17 - EXISTING STRUCTURE.  
B - 10.01.18 - ISSUE FOR INFORMATION.  
C - 18.03.18 - ISSUE FOR INFORMATION.  
D - 23.03.18 - ISSUE FOR INFORMATION.  
E - 06.05.18 - ISSUE FOR INFORMATION.  
F - 08.05.18 - ISSUE FOR INFORMATION.  
G - 05.07.18 - ISSUE FOR INFORMATION.  
H - 24.07.18 - ISSUE FOR INFORMATION.  
I - 24.08.18 - ISSUE FOR INFORMATION.  
J - 11.09.18 - ISSUE FOR INFORMATION.  
K - 18.09.18 - ISSUE FOR INFORMATION.

**FOR PLANNING APPLICATION**

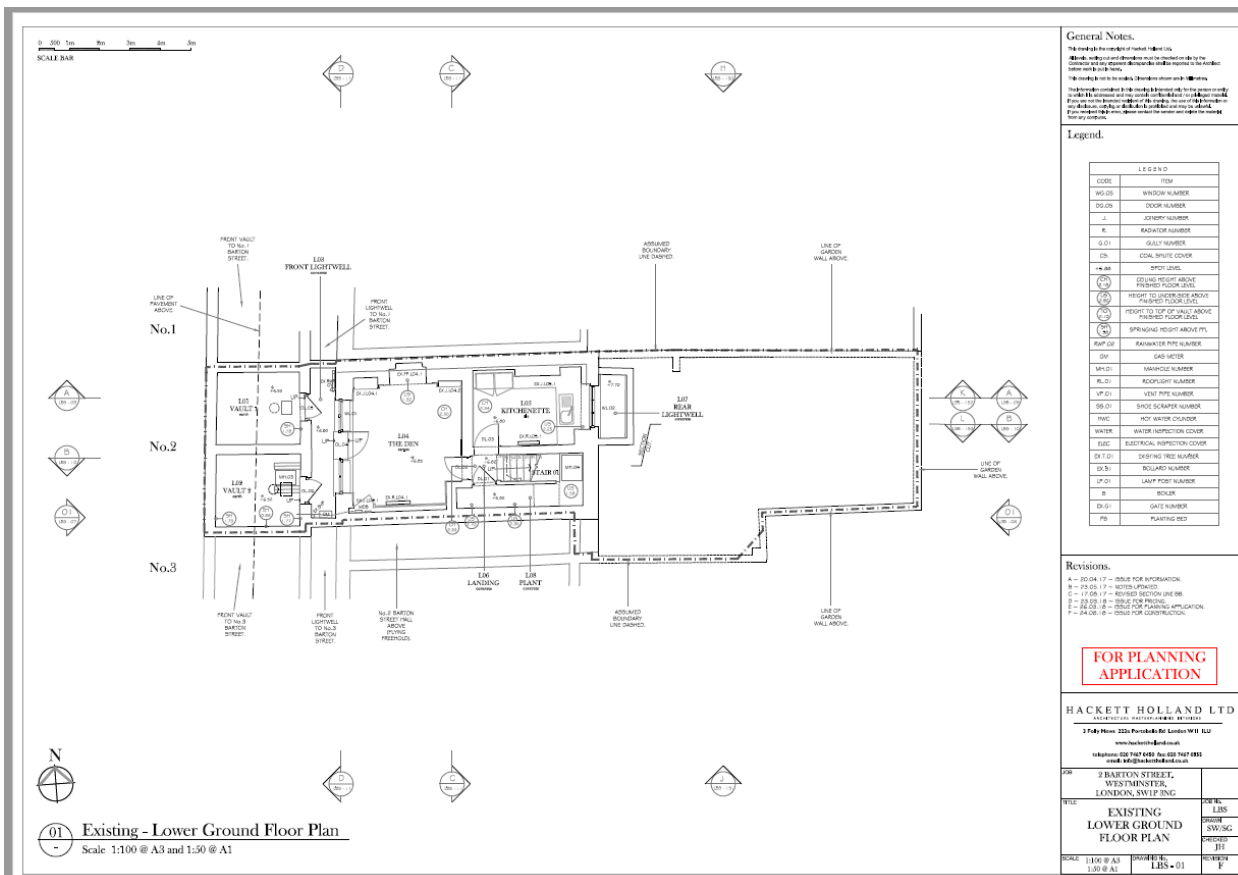
**HACKETT HOLLAND LTD**  
Architects  
3 Park House, 222a Park Road, London W8 5LP  
www.hackettholland.co.uk  
Telephone: 020 7461 4400 Fax: 020 7461 4401  
Email: info@hackettholland.co.uk

FOR 2 BARTON STREET, WESTMINSTER, LONDON, SW1P 1NG

TITLE PROPOSED SECTION EE

SCALE 1:50 @ A3 1:50 @ A1 PROJECT NO. LBS-111

DATE FOR REVISION SW/SG JH



**General Notes.**  
 The work shall be in accordance with the Building Regulations 2010.  
 The client shall be responsible for obtaining all necessary planning and building control approvals.  
 The client shall be responsible for obtaining all necessary planning and building control approvals.  
 The client shall be responsible for obtaining all necessary planning and building control approvals.

**Legend.**

CODE	ITEM
W0.00	WINDOW NUMBER
D0.00	DOOR NUMBER
J	JOURNEY NUMBER
R	RADIATOR NUMBER
G.01	GULLY NUMBER
CS	COAL STORE COVER
14.00	14.00
15.00	15.00
16.00	16.00
17.00	17.00
18.00	18.00
19.00	19.00
20.00	20.00
21.00	21.00
22.00	22.00
23.00	23.00
24.00	24.00
25.00	25.00
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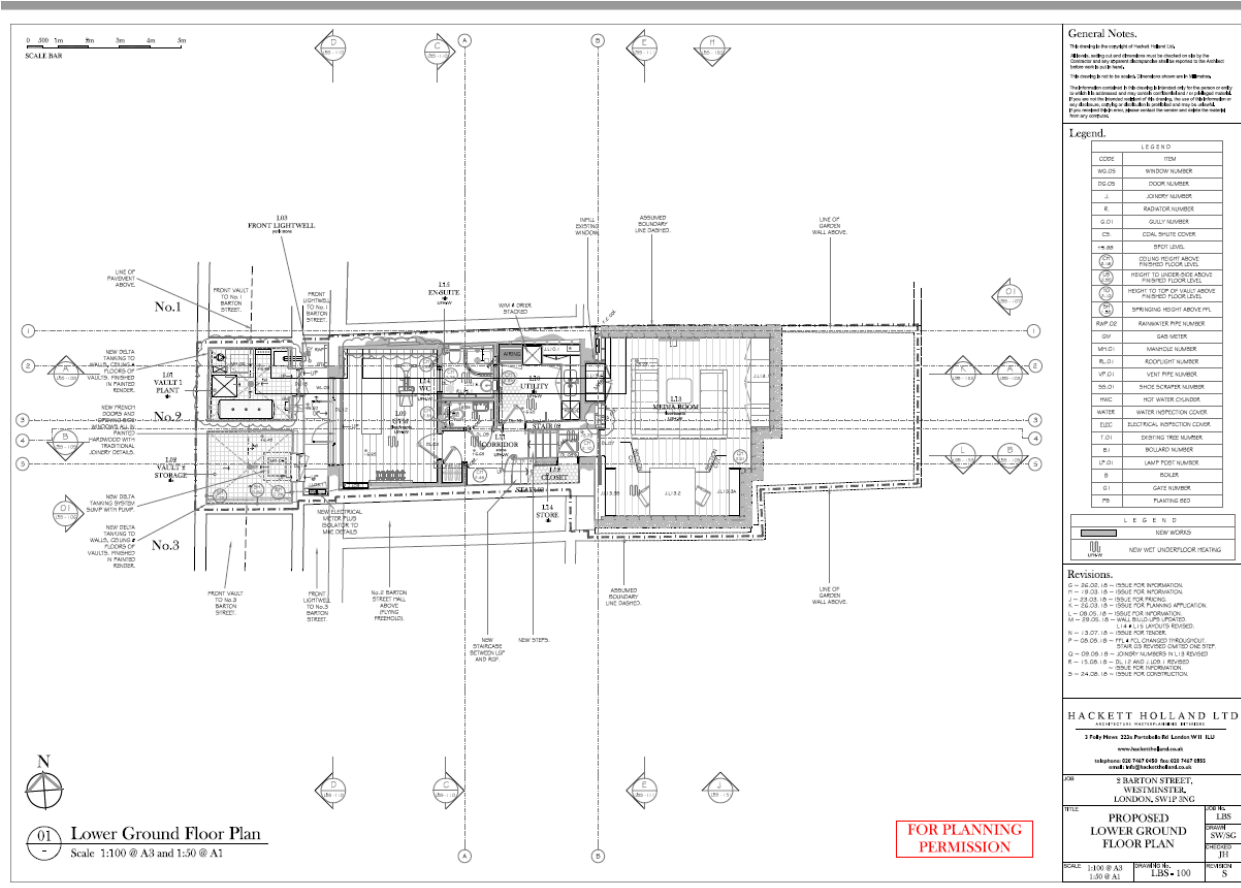
**Revisions.**  
 A - 20.04.17 - ISSUE FOR INFORMATION  
 B - 23.05.17 - REVISED SPECIFICATIONS  
 C - 17.06.17 - REVISED SECTION LINE 100  
 D - 22.07.17 - ISSUE FOR PERMITS AND APPLICATION  
 E - 08.08.17 - ISSUE FOR PERMITS AND APPLICATION  
 F - 24.08.17 - ISSUE FOR CONSTRUCTION

**FOR PLANNING APPLICATION**

**HACKETT HOLLAND LTD**  
 ARCHITECTS PARTNERSHIP  
 3 Park Street, 22nd Floor, London W1U 3AA  
 www.hackettholland.com  
 Telephone: 020 7497 4400 Fax: 020 7497 1885  
 email: info@hackettholland.com

DATE	28/07/2017	BY	JHS
TITLE	EXISTING LOWER GROUND FLOOR PLAN	PROJECT	JHS
SCALE	1:100 @ A3 1:50 @ A1	REVISION	F





**General Notes.**  
 The work shall be in accordance with the British Standards Institution (BSI) specifications and the relevant parts of the Building Regulations 2010. The work shall be in accordance with the relevant parts of the Building Regulations 2010. The work shall be in accordance with the relevant parts of the Building Regulations 2010.

**Legend.**

CODE	ITEM
W01-02	WINDOW NUMBER
D01-02	DOOR NUMBER
J	JOB NUMBER
R	RADIATOR NUMBER
S(1)	SCAFF NUMBER
CS	CEILING TRUSS CODE
SPOT LEVEL	
(S)	EXISTING HEIGHT ABOVE FINISHED FLOOR LEVEL
(N)	HEIGHT TO UNDER-SOCE ABOVE FINISHED FLOOR LEVEL
(V)	HEIGHT TO TOP OF VALVE ABOVE FINISHED FLOOR LEVEL
(P)	SPRINGING HEIGHT ABOVE FFL
RWP (2)	RADIATOR PIPE NUMBER
SM	GAS METER
MPS(1)	MANHOOD NUMBER
R(1)	ROOFLIGHT NUMBER
V(1)	VENT PIPE NUMBER
SS (1)	SHOE SCRAPER NUMBER
MWC	HOT WATER CIRCULATOR
WATER	WATER SUPPLY CONNECTION
ELEC	ELECTRICAL INFLECTION CODE
(1)	EXISTING TRUSS NUMBER
(R)	ROLLUP NUMBER
(L)	LAMP POST NUMBER
(S)	SOIL
(G)	GATE NUMBER
(F)	FLOORING RED

**Legend**

	NEW WORK
	NEW WET UNDERFLOOR HEATING

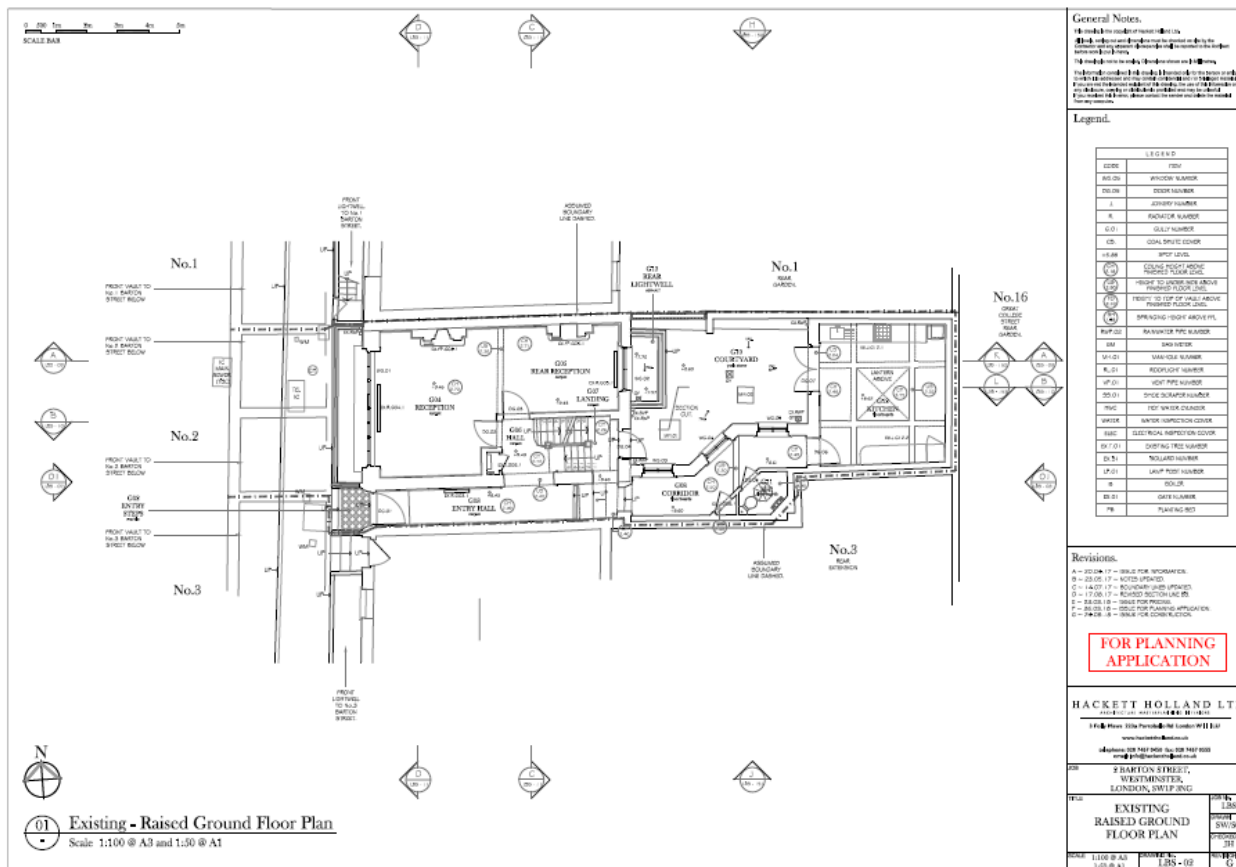
**Revisions.**  
 0 - 01.01.18 - ISSUE FOR INFORMATION  
 1 - 19.03.18 - ISSUE FOR INFORMATION  
 2 - 02.04.18 - ISSUE FOR PERMITS  
 3 - 02.04.18 - ISSUE FOR PERMITS APPLICATION  
 4 - 09.05.18 - ISSUE FOR INFORMATION  
 5 - 09.05.18 - ISSUE FOR INFORMATION  
 6 - 13.07.18 - ISSUE FOR PERMITS  
 7 - 08.09.18 - PERMITS CHANGED THROUGHOUT  
 8 - 08.09.18 - JOURNAL NUMBER N, L IS REVISED  
 9 - 19.09.18 - ISSUE FOR INFORMATION  
 10 - 24.09.18 - ISSUE FOR CONSTRUCTION

**HACKETT HOLLAND LTD**  
 27 Park Street, London W1B 1EU  
 Telephone: 020 7467 4455 Fax: 020 7467 4885  
 Email: info@hackettholland.co.uk

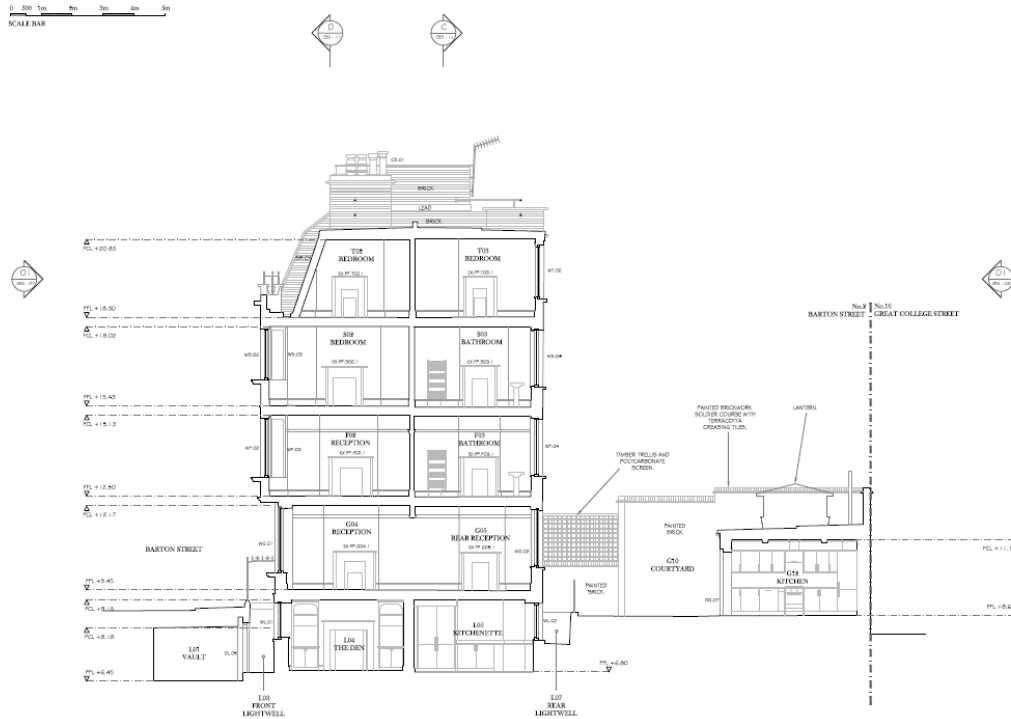
5 BARTON STREET, WESTMINSTER, LONDON, SW1P 3NG	
DATE	01.01.18 @ A3
SCALE	1:50 @ A1
PROJ. NO.	LIBS-100
REVISED BY	LIBS
DATE	5

**FOR PLANNING PERMISSION**

**01 Lower Ground Floor Plan**  
 Scale: 1:100 @ A3 and 1:50 @ A1







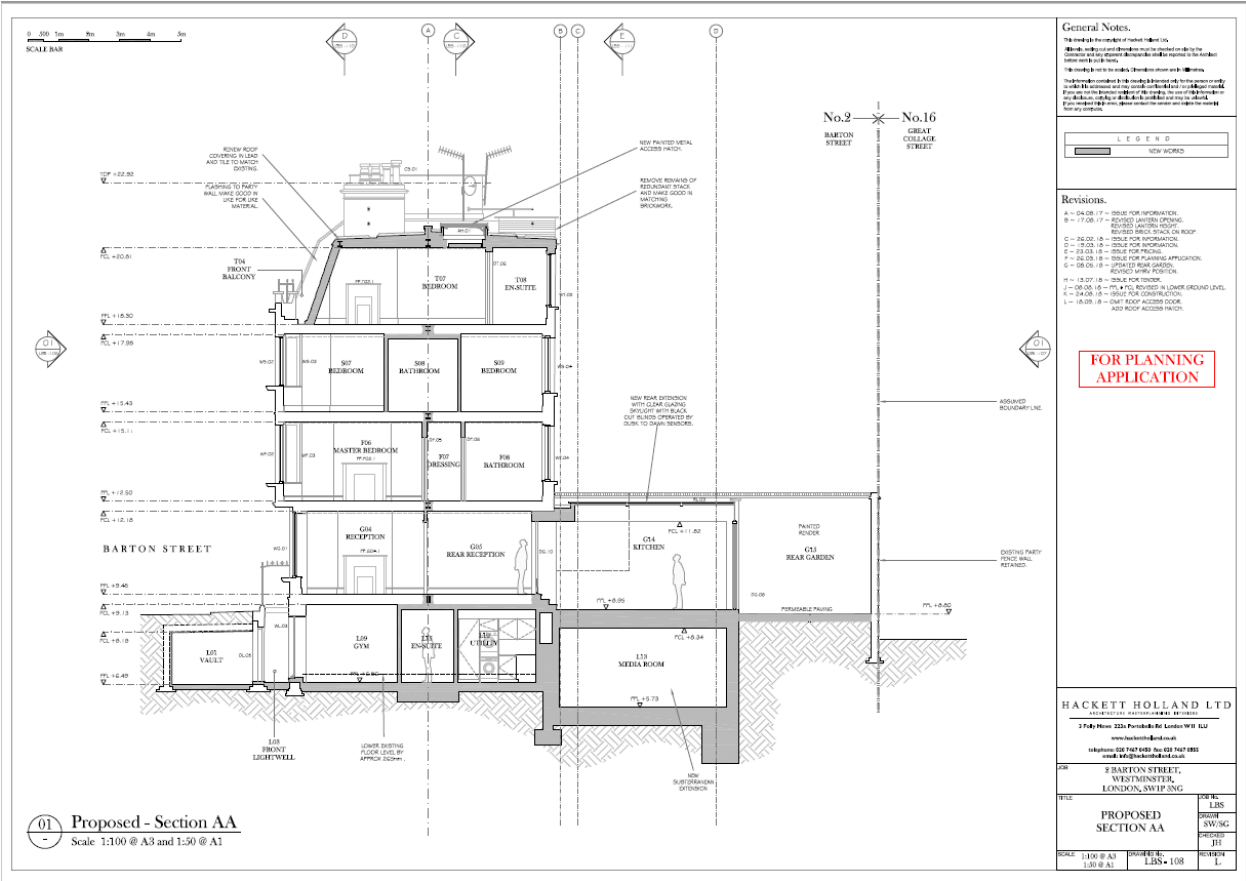
01 Existing - Section AA  
Scale 1:100 @ A3 and 1:50 @ A1

**General Notes.**  
 1. The drawings are the property of Hackett Holland Ltd.  
 2. All work shall be carried out in accordance with the Building Regulations and any other applicable legislation.  
 3. The drawings are not to be used for any other purpose without the written consent of Hackett Holland Ltd.

**Legend.**  
 Revisions:  
 R1 - 23.02.17 - ISSUE FOR SUBMITTAL  
 R2 - 27.02.17 - NOTED REVISIONS  
 R3 - 28.02.17 - ISSUE FOR PLANNING APPLICATION  
 R4 - 24.02.18 - ISSUE FOR CONSTRUCTION

**FOR PLANNING APPLICATION**

<b>HACKETT HOLLAND LTD</b> INCORPORATED IN ENGLAND 1 Park House, 225A, Portland Rd, London W8 5LQ www.hackettholland.co.uk	
JOB: 2 BARTON STREET, WESTMINSTER, LONDON, SW1P 5NG	
TITLE: EXISTING SECTION AA	DATE: 18.02.17
SCALE: 1:100 @ A3 1:50 @ A1	PROJECT NO: LRS-09 REVISION: E



**General Notes.**  
 The work shall be completed in accordance with the conditions of the contract documents and the specifications for the work.  
 The contractor shall be responsible for obtaining all necessary permissions and approvals for the proposed work.  
 The contractor shall be responsible for the safety of the work and shall ensure that the work is completed in accordance with the relevant regulations and standards.  
 The contractor shall be responsible for the protection of the existing structure and shall ensure that the work is completed in accordance with the relevant regulations and standards.  
 The contractor shall be responsible for the disposal of any waste materials and shall ensure that the work is completed in accordance with the relevant regulations and standards.  
 The contractor shall be responsible for the completion of the work in accordance with the relevant regulations and standards.

- Revisions:**
- A = 24.08.17 - ISSUE FOR INFORMATION.
  - B = 17.08.17 - REVISED DRAWING DETAIL.
  - C = 26.08.18 - ISSUE FOR INFORMATION.
  - D = 12.03.18 - ISSUE FOR INFORMATION.
  - E = 13.03.18 - ISSUE FOR PERMITS.
  - F = 26.08.18 - ISSUE FOR PLANNING APPLICATION.
  - G = 08.08.18 - ISSUE FOR PLANNING APPLICATION.
  - H = 18.02.18 - ISSUE FOR PERMITS.
  - I = 08.08.18 - PERMITS REVISED IN LOWER GROUND LEVEL.
  - J = 24.08.18 - ISSUE FOR CONSTRUCTION.
  - K = 18.08.18 - DRAFT ROOF ACCESS DOOR AND ROOF ACCESS PANELS.

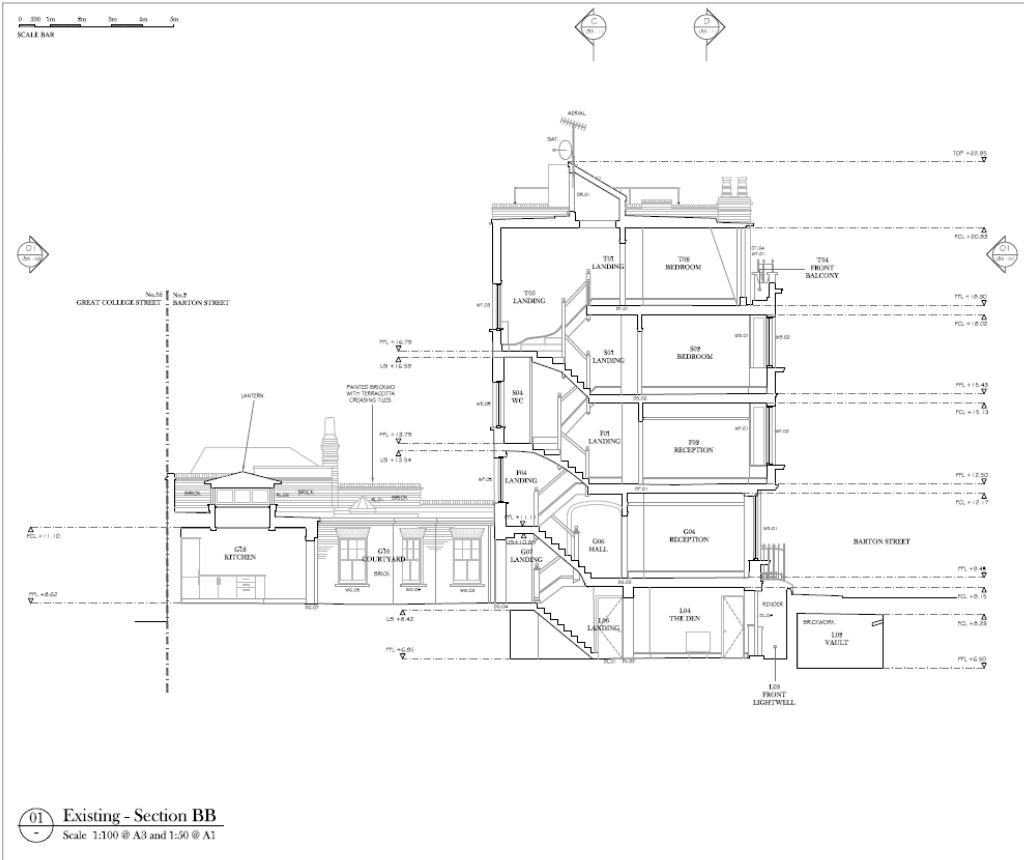
**FOR PLANNING APPLICATION**

**HACKETT HOLLAND LTD**  
 ARCHITECTS AND INTERIORS  
 5 Finsbury Square, London EC2A 3DU  
 Telephone: 020 7467 6400 Fax: 020 7467 6885  
 Email: info@hackettholland.com

FOR: 5 BARTON STREET, WESTMINSTER, LONDON, SW1P 1NG

TITLE	PROPOSED SECTION AA	FOR NO.	LRS
DATE		DESIGN	LSWING
		DRAWN	JH
		CHECKED	LSWING
SCALE	1:100 @ A3 1:50 @ A1	ISSUE NO.	LRS-108
		DATE	L

01 Proposed - Section AA  
 Scale 1:100 @ A3 and 1:50 @ A1



**General Notes.**  
 The drawings are the property of Hackett Holland Ltd.  
 No liability is accepted for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.  
 The drawings are to be used for information only and are not to be used for any other purpose without the written consent of Hackett Holland Ltd.  
 The drawings are not to be used for any other purpose without the written consent of Hackett Holland Ltd.

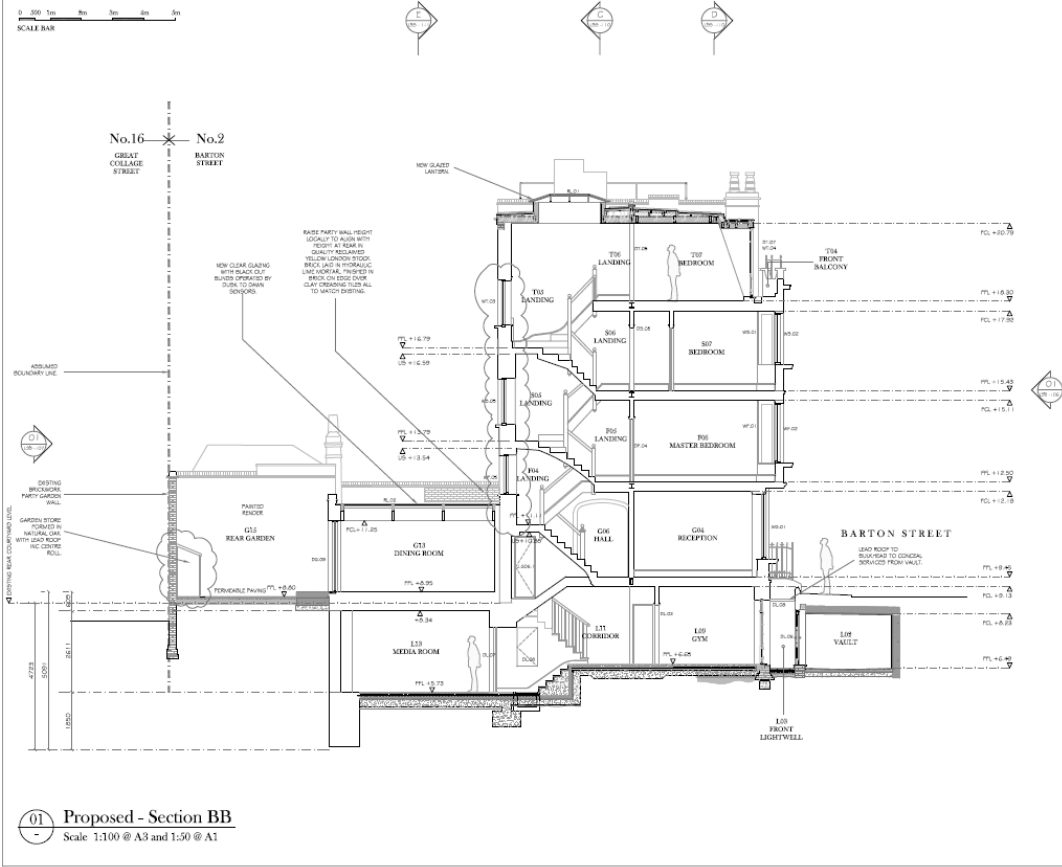
**Legend.**  
**Revisions.**  
 A - 23.02.17 - ISSUE FOR INFORMATION  
 B - 17.06.17 - REVISED SECTION BB  
 C - 23.03.18 - ISSUE FOR PRICING  
 D - 24.03.18 - ISSUE FOR PLANNING APPLICATION  
 E - 24.03.18 - ISSUE FOR CONSTRUCTION

**FOR PLANNING APPLICATION**

**HACKETT HOLLAND LTD**  
 2 FIDELITY HOUSE, 225A PARADE, ST. LOUIS, WIMBORNE, DORSET, DT9 9LW  
 www.hackettholland.com  
 Telephone: 01752 64511 Fax: 01752 64511  
 Email: info@hackettholland.com

NO	2 BARTON STREET, WESTMINSTER, LONDON, SW1P 3NG	DATE	18.05.17
TITLE	EXISTING SECTION BB	PROJECT	SW/SG
SCALE	1:100 @ A3 1:50 @ A1	PROJECT NO.	18/10
		PREPARED BY	JL
		REVIEWED BY	JK

**01 Existing - Section BB**  
 Scale 1:100 @ A3 and 1:50 @ A1



**General Notes.**  
 1. The work shall be in accordance with the Building Regulations.  
 2. All work shall be in accordance with the current Building Regulations and all other relevant codes of practice.  
 3. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 4. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 5. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 6. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 7. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 8. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 9. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.  
 10. The work shall be in accordance with the Building Regulations and all other relevant codes of practice.

**LEGEND**

NEW WORK
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- Revisions:**
- A = 04.06.17 - ISSUE FOR INFORMATION
  - B = 09.08.17 - L1 L1 CORRIDOR UPDATED
  - C = 17.08.17 - REVISED SECTION BB
  - D = 30.08.17 - REVISED SECTION BB LOWER GROUND FLOOR REAR WALL
  - E = 01.09.18 - REVISED SECTION BB
  - F = 26.09.18 - ISSUE FOR INFORMATION
  - G = 30.09.18 - ISSUE FOR INFORMATION
  - H = 22.03.18 - ISSUE FOR PACKING
  - I = 28.03.18 - ISSUE FOR PLANNING APPLICATION
  - J = 08.05.18 - REVISED SECTION BB LOWER GROUND FLOOR REAR WALL
  - K = 08.05.18 - REVISED SECTION BB LOWER GROUND FLOOR REAR WALL
  - L = 13.07.18 - ISSUE FOR REVISION
  - M = 08.08.18 - PFL +10.50 REVISED TO LOWER GROUND LEVEL
  - N = 24.08.18 - ISSUE FOR CONSTRUCTION
  - O = 31.08.18 - ISSUE FOR CONSTRUCTION

**FOR PLANNING APPLICATION**

**HACKETT HOLLAND LTD**  
 ARCHITECTS  
 2 Fife House 223a Portland Rd London W11 6LJ  
 www.hackettholland.com  
 telephone: 020 7497 8400 fax: 020 7497 8888  
 email: info@hackettholland.com

FOR: 2 BARTON STREET, WESTMINSTER, LONDON, SW1P 3NG

TITLE: PROPOSED SECTION BB	SCALE: 1:100 @ A3, 1:50 @ A1	DATE: 1.09.18	PROJECT NO: LBS-109	DESIGNER: JH	CLIENT: LBS
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**01 Proposed - Section BB**  
 Scale: 1:100 @ A3 and 1:50 @ A1

**DRAFT DECISION LETTER**

**Address:** 2 Barton Street, London, SW1P 3NG

**Proposal:** Demolition and rebuilding of ground floor extension and excavation of a new basement level beneath the rear extension. Widening of existing front dormer window and associated works.

**Reference:** 18/03465/FULL

**Plan Nos:** LBS-00 Rev. E, LBS-98 Rev. C, LBS-99 Rev. D, LBS-01 Rev. F, LBS-02 Rev. G, LBS-03 Rev. H, LBS-04 Rev. G, LBS-05 Rev. G, LBS-06 Rev. G, LBS-07, Rev. G, LBS-08 Rev. J, LBS-09 Rev. E, LBS-10 Rev. E, LBS-11 Rev. F, LBS-100 Rev. S, LBS-101 Rev. Q, LBS-102 Rev. Q, LBS-103 Rev. P, LBS-104 Rev. N, LBS-105 Rev. L, LBS-106 Rev. K, LBS-107 Rev. G, LBS-108 Rev. L, LBS-109 Rev. P, LBS-110 Rev. J, LBS-111 Rev. L, LBS-150 Rev. G, LBS-151 Rev. H, LBS-152 Rev. K, LBS-53 Rev. K, LBS-200 Rev. D, LBS-201 Rev. D, , LBS-202 Rev. D, LBS-203 Rev. D, LBS-204 Rev. D, LBS-205 Rev. D, LBS-206 Rev. D, LBS-207 Rev. E, LBS-208 Rev. D, LBS-209 Rev. D, LBS-210 Rev. D, LBS-317 Rev. A, Daylight and Sunlight Statement prepared by Dixon Payne dated 27 July 2017 (rs/ROL.17/1), Design and Access Statement dated 18 March 2018, Flood Risk Assessment Issue A prepared by Monson dated 26/01/18, Planning and Heritage Statement dated April 2018 prepared by Montagu Evans, Historic Environment Assessment prepared by Museum of London Archaeology (MOLA) dated December 2017 and Tree Protection Relating to 2 Barton Street (Ref: CC/1294 AR3732) prepared by Challice Consulting Ltd Arboricultural Consultancy Ltd dated 04 July 2018.

For information purposes: Planning Feasibility Report (Incorporating Construction Method Statement) Project No. 21417 Rev. E dated 06 April 2018 prepared by Lucking and Clark LLP and Appendix A - Checklists.

**Case Officer:** Zulekha Hosenally

**Direct Tel. No.** 020 7641 2511

**Recommended Condition(s) and Reason(s)**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for piling, excavation and demolition work, you must carry out any building work which can be heard at the boundary of the site only:



- between 08.00 and 18.00 Monday to Friday;
- between 08.00 and 13.00 on Saturday; and
- not at all on Sundays, bank holidays and public holidays.

You must carry out piling, excavation and demolition work only:

- between 08.00 and 18.00 Monday to Friday; and
- not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours unless otherwise agreed through a Control of Pollution Act 1974 section 61 prior consent in special circumstances (for example, to meet police traffic restrictions, in an emergency or in the interests of public safety). (C11AB)

Reason:

To protect the environment of neighbouring occupiers. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 You must apply to us for approval of detailed drawings of the following parts of the development:

- a) pyramidal rooflight;
- b) new dormer window;
- c) new doors; and
- d) roof level access hatch.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES

6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 You must apply to us for approval of a sample panel of brickwork which shows the colour, texture, face bond and pointing. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the approved sample. (C27DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 You must paint all new outside rainwater and soil pipes black and keep them that colour. (C26EA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 8 You must not attach flues, ducts, soil stacks, soil vent pipes, or any other pipework other than rainwater pipes to the outside of the building unless they are shown on the approved drawings. (C26KA)

## Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 9 Prior to the commencement of any demolition or construction on site the applicant shall submit an approval of details application to the City Council as local planning authority comprising evidence that any implementation of the scheme hereby approved, by the applicant or any other party, will be bound by the council's Code of Construction Practice. Such evidence must take the form of a completed Appendix A of the Code of Construction Practice, signed by the applicant and approved by the Council's Environmental Inspectorate, which constitutes an agreement to comply with the code and requirements contained therein. Commencement of any demolition or construction cannot take place until the City Council as local planning authority has issued its approval of such an application (C11CB)

## Reason:

To protect the environment of neighbouring occupiers. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 10 You must not use the roof of the extension for sitting out or for any other purpose. You can however use the roof to escape in an emergency. (C21BA)

## Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 11 You must not use the roof of the building for sitting out or for any other purpose. You can however use the roof to escape in an emergency. (C21AA)

## Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 12 You must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within 12 months of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within 12 months of planting them, you must replace them with trees of a similar size and species.  
(C30CB)

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the Smith Square Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan (November 2016) and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

13 **Pre Commencement Condition.**

- (a) You must apply to us for approval of a written scheme of investigation for a programme of archaeological work. This must include details of the suitably qualified person or organisation that will carry out the archaeological work. You must not start work until we have approved what you have sent us.
- (b) You must then carry out the archaeological work and development according to this approved scheme. You must produce a written report of the investigation and findings, showing that you have carried out the archaeological work and development according to the approved scheme. You must send copies of the written report of the investigation and findings to us, to Historic England and to the Greater London Historic Environment Record, Historic England, 4th floor, Cannon Bridge House, 25 Dowgate Hill, London, EC4Y 2YA.
- (c) You must not use any part of the new building until we have confirmed that you have carried out the archaeological fieldwork and development according to this approved scheme.  
(C32BC)

Reason:

To protect the archaeological heritage of the City of Westminster as set out in S25 of Westminster's City Plan (November 2016) and DES 11 of our Unitary Development Plan that we adopted in January 2007. (R32BC)

**Informative(s):**

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560. (I35AA)
- 3 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.
- 4 Fractures and ruptures can cause burst water mains, low water pressure or sewer flooding. You are advised to consult with Thames Water on the piling methods and foundation design to be employed with this development in order to help minimise the potential risk to their network. Please contact: , Thames Water Utilities Ltd, Development Planning, Maple Lodge STW, Denham Way, Rickmansworth, Hertfordshire, WD3 9SQ, Tel: 01923 898072, Email: Devcon.Team@thameswater.co.uk
- 5 We recommend you speak to the Head of the District Surveyors' Services about the stability and condition of the walls to be preserved. He may ask you to carry out other works to secure the walls. Please phone 020 7641 7240 or 020 7641 7230. (I22AA)
- 6 You will need to re-apply for planning permission if another authority or council department asks you to make changes that will affect the outside appearance of the building or the purpose it is used for. (I23AA)
- 7 With reference to condition 9 please refer to the Council's Code of Construction Practice at (<https://www.westminster.gov.uk/code-construction-practice>). You will be required to enter into the relevant Code appropriate to this scale of development and to pay the relevant fees prior to

starting work. The Code does require the submission of a full Site Environmental Management Plan or Construction Management Plan as appropriate 40 days prior to commencement of works (including demolition). These documents must be sent to [environmentalsciences2@westminster.gov.uk](mailto:environmentalsciences2@westminster.gov.uk).

Appendix A or B must be signed and countersigned by Environmental Sciences prior to the submission of the approval of details of the above condition. You are urged to give this your early attention.

- 8 Written schemes of investigation will need to be prepared and implemented by a suitably qualified professionally accredited archaeological practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London. This condition is exempt from deemed discharge under Schedule 6 of the Town and Country Planning (Development Management Procedure)(England) Order 2015.
- 9 You are advised that should the extended part of the basement level accommodating the media room require mechanical ventilation then this may require planning permission for any external air conditioning equipment and the submission of an acoustic report. You should also seek to site any mechanical plant within the building in the first instance or if this is not possible within a discreet external location and in accordance with any acoustic assessment and mitigation that may be required.
- 10 Please make sure that the lighting is designed so that it does not cause any nuisance for neighbours at night. If a neighbour considers that the lighting is causing them a nuisance, they can ask us to take action to stop the nuisance (under section 102 of the Clean Neighbourhoods and Environment Act 2005). (I39AA)
- 11 You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, [siteenquiries@ccscheme.org.uk](mailto:siteenquiries@ccscheme.org.uk) or visit [www.ccscheme.org.uk](http://www.ccscheme.org.uk).
- 12 The construction manager should keep residents and others informed about unavoidable disturbance such as noise, dust and extended working hours, and disruption of traffic. Site neighbours should be given clear information well in advance, preferably in writing, perhaps by issuing regular bulletins about site progress.
- 13 You will have to apply separately for a licence for any structure that overhangs the road or pavement. For more advice, please phone our Highways section on 020 7641 2642. (I10AA)
- 14 Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of

building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560. (I35AA)

- 15 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work. Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team  
Environmental Health Service  
Westminster City Hall  
64 Victoria Street  
London  
SW1E 6QP  
Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

**DRAFT DECISION LETTER**

**Address:** 1 Barton Street, London, SW1P 3NG,

**Proposal:** Underpinning of the garden boundary wall to No. 1 Barton Street; removal of the trellis screen on the garden boundary wall and infilling with new brickwork to match existing.

**Reference** 18/03466/LBC

**Plan Nos:** LBS-00 Rev. E, LBS-98 Rev. C, LBS-99 Rev. D, LBS-01 Rev. F, LBS-02 Rev. G, LBS-03 Rev. H, LBS-04 Rev. G, LBS-05 Rev. G, LBS-06 Rev. G, LBS-07, Rev. G, LBS-08 Rev. J, LBS-09 Rev. E, LBS-10 Rev. E, LBS-11 Rev. F, LBS-100 Rev. S, LBS-101 Rev. Q, LBS-102 Rev. Q, LBS-103 Rev. P, LBS-104 Rev. N, LBS-105 Rev. L, LBS-106 Rev. K, LBS-107 Rev. G, LBS-108 Rev. L, LBS-109 Rev. P, LBS-110 Rev. J, LBS-111 Rev. L, LBS-150 Rev. G, LBS-151 Rev. H, LBS-152 Rev. K, LBS-53 Rev. K, LBS-200 Rev. D, LBS-201 Rev. D, , LBS-202 Rev. D, LBS-203 Rev. D, LBS-204 Rev. D, LBS-205 Rev. D, LBS-206 Rev. D, LBS-207 Rev. E, LBS-208 Rev. D, LBS-209 Rev. D, LBS-210 Rev. D, LBS-317 Rev. A, Daylight and Sunlight Statement prepared by Dixon Payne dated 27 July 2017 (rs/ROL.17/1), Design and Access Statement dated 18 March 2018, Flood Risk Assessment Issue A prepared by Monson dated 26/01/18, Planning and Heritage Statement dated April 2018 prepared by Montagu Evans, Historic Environment Assessment prepared by Museum of London Archaeology (MOLA) dated December 2017 and Tree Protection Relating to 2 Barton Street (Ref: CC/1294 AR3732) prepared by Challice Consulting Ltd Arboricultural Consultancy Ltd dated 04 July 2018., , For information purposes: Planning Feasibility Report (Incorporating Construction Method Statement) Project No. 21417 Rev. E dated 06 April 2018 prepared by Lucking and Clark LLP and Appendix A - Checklists.

**Case Officer:** Zulekha Hosenally

**Direct Tel.** 020 7641 2511

**Recommended Condition(s) and Reason(s)**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)



**Reason:**

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.3 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 3 The facing brickwork must match the existing original work in terms of colour, texture, face bond and pointing. This applies unless differences are shown on the approved drawings. (C27CA)

**Reason:**

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.3 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 4 You must not disturb existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrades. You must leave them in their present position unless changes are shown on the approved drawings or are required by conditions to this permission. You must protect those features properly during work on site. (C27KA)

**Reason:**

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

**Informative(s):**

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework, the London Plan 2016, Westminster's City Plan (November 2016), and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations., , The City Council decided that the proposed works would not harm the special architectural and historic interest of this listed building., , In reaching this decision the following were of particular relevance:, S25 and S28 of Westminster's City Plan and DES 10 including paras 10.130 to 10.146 of the

Item No.
<b>2</b>

Unitary Development Plan, and paragraph 2.3 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 You will need to contact us again if you want to carry out work on the listed building which is not referred to in your plans. This includes: , \* any extra work which is necessary after further assessments of the building's condition; , \* stripping out or structural investigations; and, \* any work needed to meet the building regulations or other forms of statutory control. , , Please quote any 'TP' and 'RN' reference numbers shown on this consent when you send us further documents. , , It is a criminal offence to carry out work on a listed building without our consent. Please remind your client, consultants, contractors and subcontractors of the terms and conditions of this consent. (159AA)

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

**DRAFT DECISION LETTER**

Address: 3 Barton Street, London, SW1P 3NG,

Proposal: Removal and replacement of soldier course and creasing tiles for a 2.398m length of the top of the rear garden boundary wall and addition of 0.55m to the wall between Nos. 2 and 3 Barton Street.

Reference: 18/06397/LBC

Plan Nos: LBS-00 Rev. E, LBS-98 Rev. C, LBS-99 Rev. D, LBS-01 Rev. F, LBS-02 Rev. G, LBS-03 Rev. H, LBS-04 Rev. G, LBS-05 Rev. G, LBS-06 Rev. G, LBS-07, Rev. G, LBS-08 Rev. J, LBS-09 Rev. E, LBS-10 Rev. E, LBS-11 Rev. F, LBS-100 Rev. S, LBS-101 Rev. Q, LBS-102 Rev. Q, LBS-103 Rev. P, LBS-104 Rev. N, LBS-105 Rev. L, LBS-106 Rev. K, LBS-107 Rev. G, LBS-108 Rev. L, LBS-109 Rev. P, LBS-110 Rev. J, LBS-111 Rev. L, LBS-150 Rev. G, LBS-151 Rev. H, LBS-152 Rev. K, LBS-53 Rev. K, LBS-200 Rev. D, LBS-201 Rev. D, , LBS-202 Rev. D, LBS-203 Rev. D, LBS-204 Rev. D, LBS-205 Rev. D, LBS-206 Rev. D, LBS-207 Rev. E, LBS-208 Rev. D, LBS-209 Rev. D, LBS-210 Rev. D, LBS-317 Rev. A, Daylight and Sunlight Statement prepared by Dixon Payne dated 27 July 2017 (rs/ROL.17/1), Design and Access Statement dated 18 March 2018, Flood Risk Assessment Issue A prepared by Monson dated 26/01/18, Planning and Heritage Statement dated April 2018 prepared by Montagu Evans, Historic Environment Assessment prepared by Museum of London Archaeology (MOLA) dated December 2017 and Tree Protection Relating to 2 Barton Street (Ref: CC/1294 AR3732) prepared by Challice Consulting Ltd Arboricultural Consultancy Ltd dated 04 July 2018., , For information purposes: Planning Feasibility Report (Incorporating Construction Method Statement) Project No. 21417 Rev. E dated 06 April 2018 prepared by Lucking and Clark LLP and Appendix A - Checklists.

Case Officer: Zulekha Hosenally

Direct Tel. No. 020 7641 2511

**Recommended Condition(s) and Reason(s)**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

## Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

## Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.3 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 3 The facing brickwork must match the existing original work in terms of colour, texture, face bond and pointing. This applies unless differences are shown on the approved drawings. (C27CA)

## Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.3 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

## Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT -  
In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework, the London Plan 2016, Westminster's City Plan (November 2016), and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations., , The City Council decided that the proposed works would not harm the special architectural and historic interest of this listed building., , In reaching this decision the following were of particular relevance:, S25 and S28 of Westminster's City Plan and DES 10 including paras 10.130 to 10.146 of the Unitary

Development Plan, and paragraph 2.3 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 You will need to contact us again if you want to carry out work on the listed building which is not referred to in your plans. This includes:
  - , \* any extra work which is necessary after further assessments of the building's condition;
  - , \* stripping out or structural investigations;
  - and, \* any work needed to meet the building regulations or other forms of statutory control., , Please quote any 'TP' and 'RN' reference numbers shown on this consent when you send us further documents., , It is a criminal offence to carry out work on a listed building without our consent. Please remind your client, consultants, contractors and subcontractors of the terms and conditions of this consent. (I59AA)

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.